

Peru CSD is considering a referendum vote for a Capital Project this fall to address the failing roofs within the district. There are many roofs at the HS/MS and elementary school that are beyond their useful life and have begun to be a maintenance issue, as well as a health & safety issue

High School/Middle School:

The district will be concentrating on the roofs systems that are the oldest and out of warranty which are as follows, Roof 9, 12, 13, 18, 25, 26, 27 (see attached schematic for the roof locations). All of the roofs mentioned have had multiple leaks over the past few years and are out of warranty. (see pictures for related issues). The intent is to provide a new 20 yr roof recovery system to ensure weather tight protection of the exterior building envelop. The system will include an EPDM membrane and new metal edge coping system. New drain sumps and roof crickets will be installed to ensure proper drainage. All existing roof leaders will be flushed to ensure no blockages are found. New flashing will be installed at all mechanical equipment curbs, also all abandoned penetrations through the roof systems will be removed and properly capped prior to the new roof being installed. During the investigation of the roofs, one roof (12) was found to have significant issues and will need to be fully replaced.



HS Roof 13 – Boys Locker room



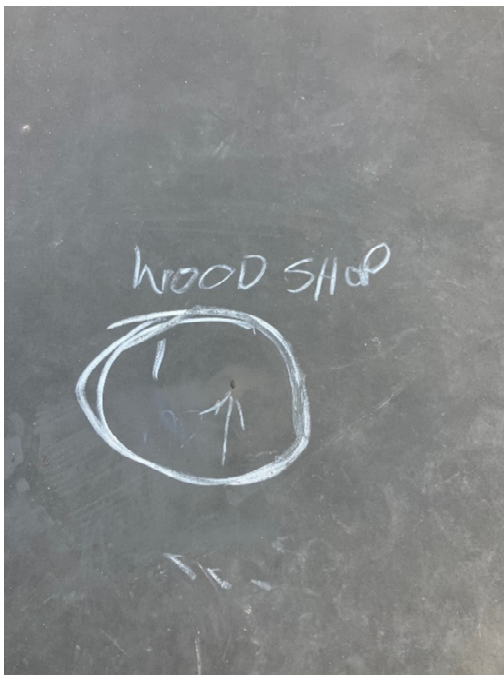
HS Roof 9 – TL-2



HS Roof 18 – Stained Ceiling Tile



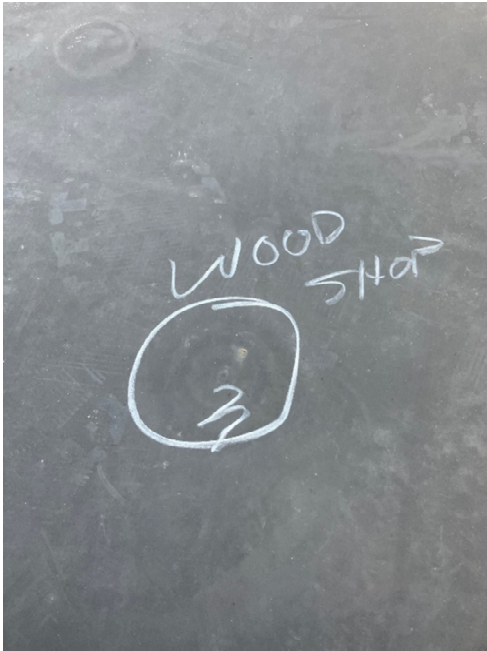
HS Roof 26 – Stained tiles



Exterior EPDM roof puncture



Exterior EPDM Roof Puncture



EPDM Roof Membrane punctures



EPDM Roof Membrane Punctures



EPDM Roof Membrane Punctures



Roof Curb Flashing Failure



EPDM Roof Membrane Punctures



EPDM Roof Membrane Punctures



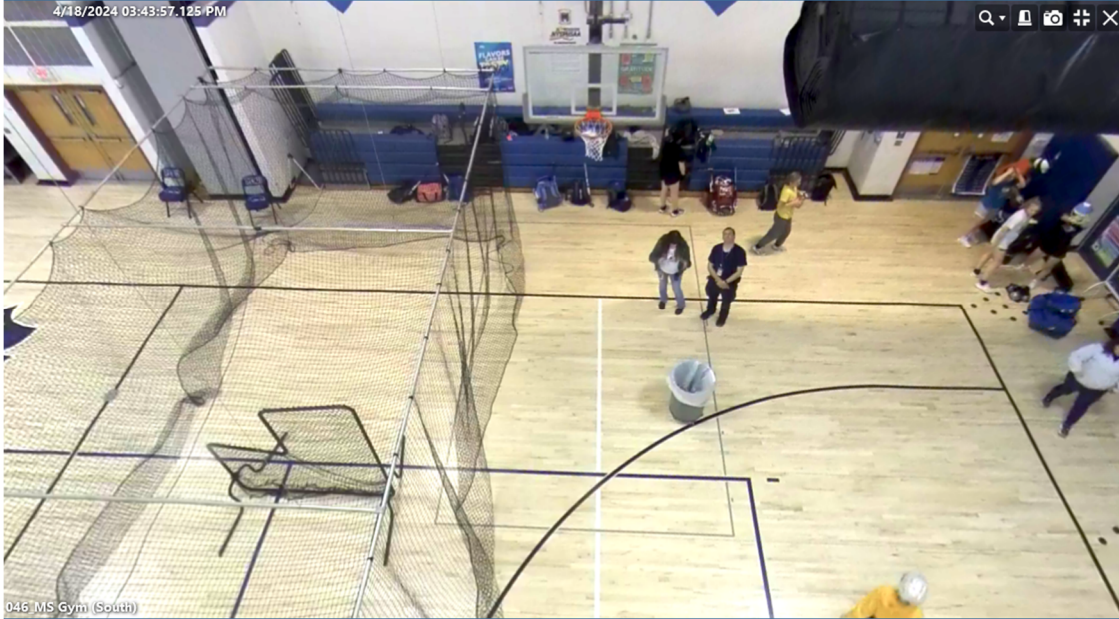
Football Pad Drying after roof leak



High school Gym. Trash can to catch roof leak water



MS Gym Roof 1 flashing failure



Trash Can to capture water leaking from roof.

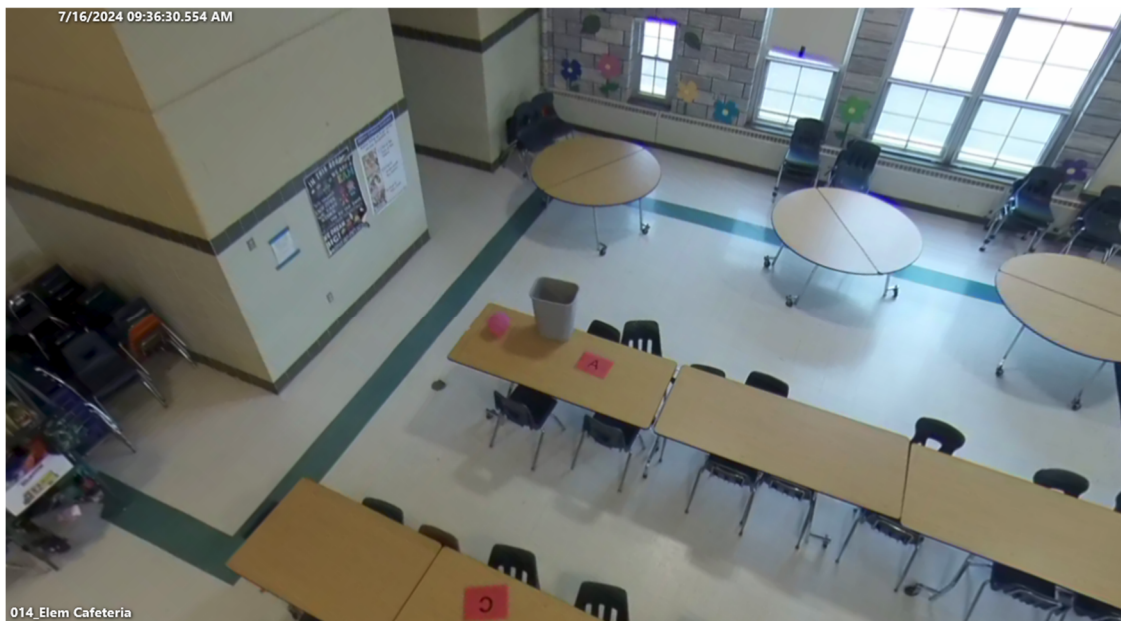
Leak in the Middle School gym



I got a mop and will put the buckets there

Elementary School:

The district will be concentrating on the roofs systems that are the oldest and out of warranty which are as follows, Roof 1, 2, 7, 10, 19, 21, 24, 24A (see attached schematic for the roof locations). All of the roofs mentioned have had multiple leaks over the past few years and are out of warranty. (see pictures for related issues). The intent is to provide a new 20 yr roof recovery system to ensure weather tight protection of the exterior building envelop. The system will include an EPDM membrane and new metal edge coping system. New drain sumps and roof crickets will be installed to ensure proper drainage. All existing roof leaders will be flushed to ensure no blockages are found. New flashing will be installed at all mechanical equipment curbs, also all abandoned penetrations through the roof systems will be removed and properly capped prior to the new roof being installed. An existing shingle roof system over the elevator shaft will be removed and replaced with a new metal panel roof system. This system will include but not limited to sheathing as needed, felt paper, metal roof panels with vented ridge, drip edge and metal fascia.



Elementary Café water leak

iMessage
Today 9:38 AM



Think I found the leak above
primary cafeteria



Intermediate Gym roof 19 Roof Leaks



There is the boys bathroom
leak

Been leaking for a while
insulation soaked

The Maintenance staff has done a tremendous job with keeping up with the leaks at both facilities but with the age of the roof systems the time has come to replace the roofs that are past their life expectancy before catastrophic failure happens at one or more of the roofs.

The District has carefully reviewed options to try and replace as many roofs as the referendum will allow. There will be a combination of full replacement and recovery systems as mentioned above.



Photo Report



PERU CENTRAL SCHOOL DISTRICT
17 SCHOOL ROAD
PERU, NEW YORK 12972

FACILITY: Middle/High School	ROOF SECTION: 2024 Roof Evaluation	TITLE: Photo Report	DATE: 07/23/2024
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Summary

Garland evaluated all of the roofs identified on the latest roof plan in 2024 by BCA Architects and our summary of the evaluation is listed below by roof section.



View of roof core on roof number nine totally dry with approximately 4 inches of insulation and a poly vapor barrier against what seems to be a gyp or lightweight concrete deck surface



2 Proper drainage can be achieved with an 8 foot sump and proper crickets behind every flat unit to help move water



3 View of roof nine and some ponding water areas

4



Properly repaired core cut with additional structural caulking for protection

5



Core cut on roof number 13 was totally dry 4 to 6 inches of insulation and a poly vapor barrier over a gyp or lightweight concrete deck



6

Few of roof number 13 and some of the ponding water areas which I believe can be fixed by proper sumps and crickets



7

Minimal sump where water does not reach the roof drain if we added a 4 x 4 or 8 x 8 it would take care of the majority of ponding water

8



Overall view of roof section 12 there is no sump or proper taper around the drain areas

9



Ponding water holding on the edges of the roof

10



Roof composition of roof number 12 is a tectum deck with polystyrene insulation and plywood with rubber glue directly to it. This will likely need to be a full tear off.

11



Roof number 18 composition is a concrete deck with a poly vapor barrier three layers of poly iso 4 to 6 inches and a fully adhered EPDM membrane, core was totally dry.



Multiple flashing issues around large units and some ponding water that will need to be corrected



This is a pretty long run to the drain a simple spout scupper may help fix this issue pretty quickly. This is on the edge of roof 8 and 18



This old vent has clearly had quite a few issues and has been repaired multiple times



View of large ponding water area on roof number 26 the drain is clogged and needs to be kept clean

16



Roof section 25 same roof configuration as the previous roofs drainage seems to be sufficient definitely has some edge, metal issues and potential wall and counter flashing issues

17



View of roof section 19 on the elementary school. Each one of the depressions holding water was originally a skylight so there may be some infill required to push the ponding water to the drains.

18



Roof section 19 is a metal deck with a gypsum board several layers of insulation and a fully adhered EPDM membrane core was dry

19



Overall view of roof section 21 some drainage adjustments are required against the wall to get the water to the drain

20



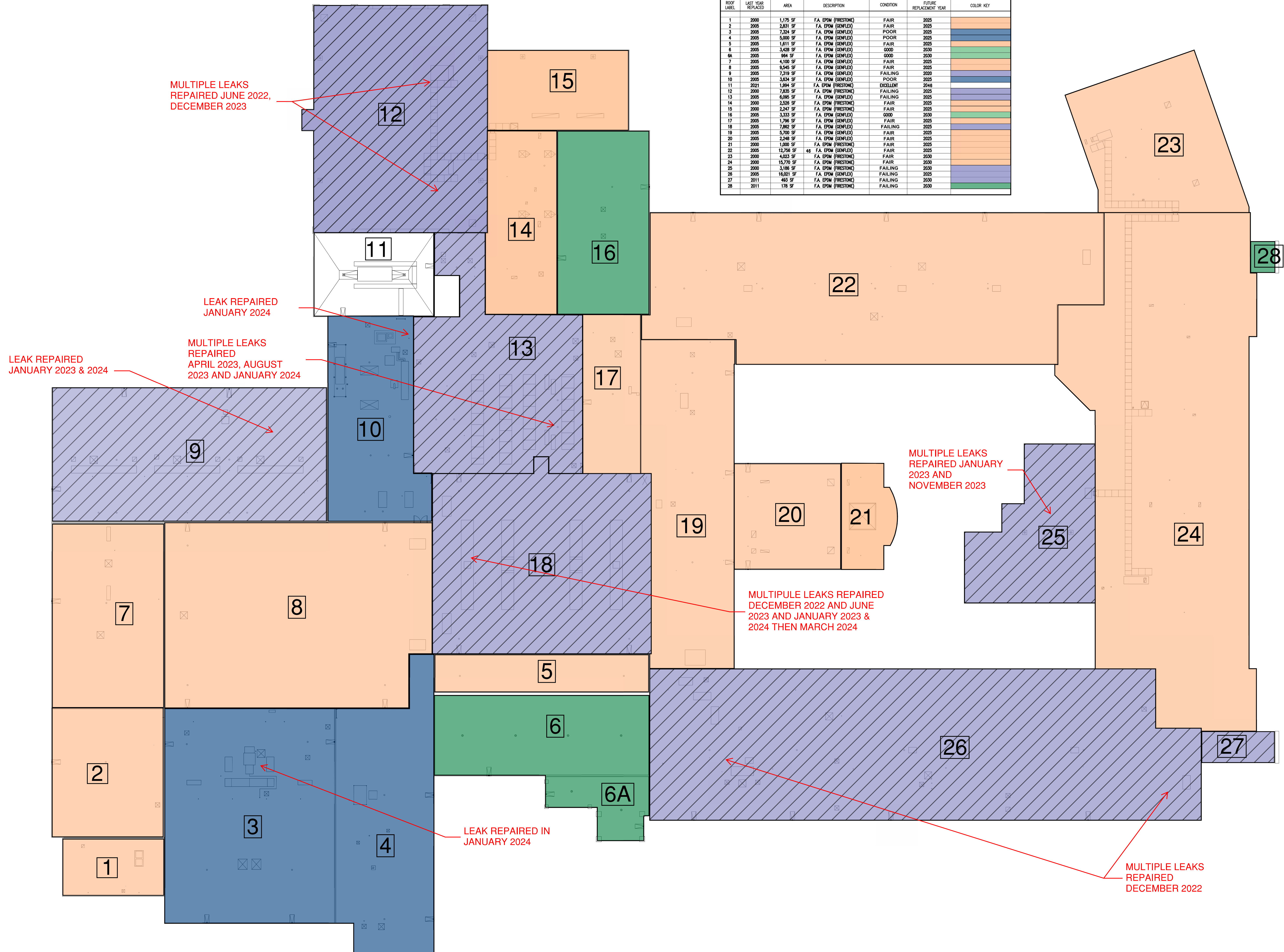
Core on roof section one and two is a metal deck with a gypsum board multiple layers of insulation and a fully adhered EPDM system

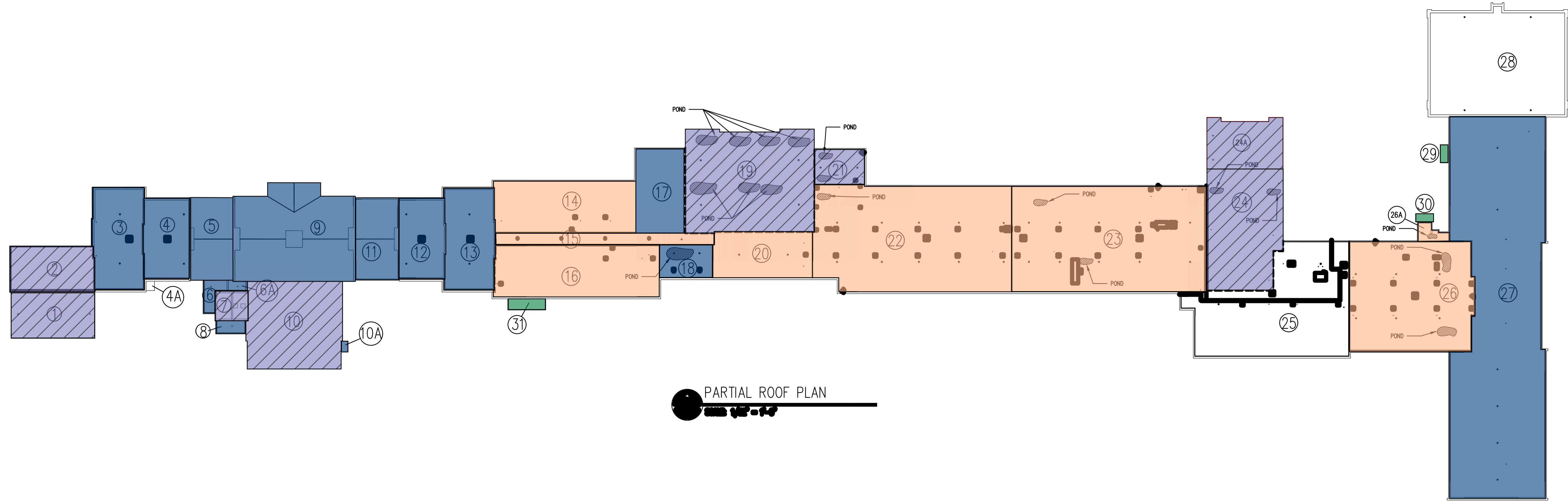
21



Roof section one has a newly installed multi layer metal coping where roof section 2 has old concrete cap stones

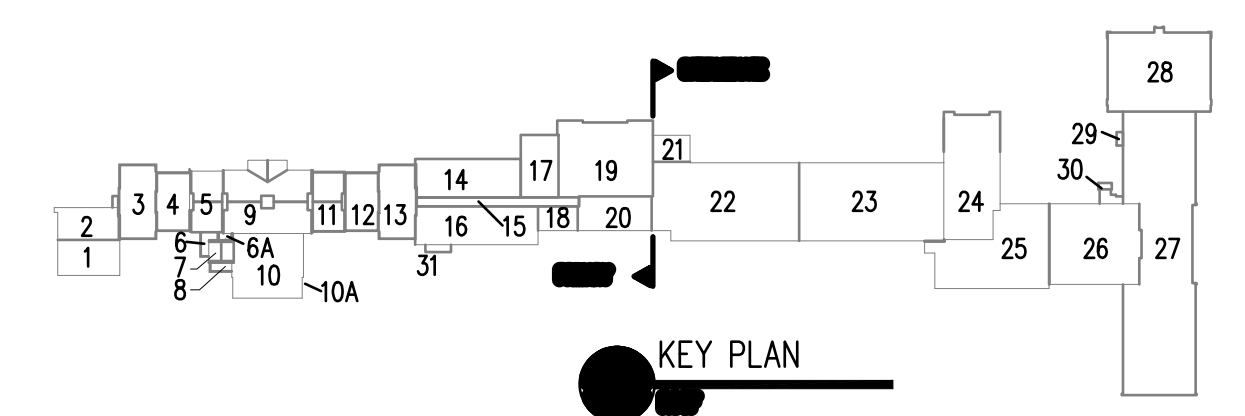
MIDDLE SCHOOL/HIGH SCHOOL						
ROOF LABEL	LAST YEAR REPLACED	AREA	DESCRIPTION	CONDITION	FUTURE REPLACEMENT YEAR	COLOR KEY
1	2000	1,175 SF	F.A. EPDM (PRESTONE)	FAIR	2025	
2	2005	2,831 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
3	2005	7,324 SF	F.A. EPDM (GENFLEX)	POOR	2025	
4	2005	5,000 SF	F.A. EPDM (GENFLEX)	POOR	2025	
5	2005	1,811 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
6	2005	3,428 SF	F.A. EPDM (GENFLEX)	GOOD	2030	
6A	2005	984 SF	F.A. EPDM (GENFLEX)	GOOD	2030	
7	2005	4,100 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
8	2005	9,545 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
9	2005	7,319 SF	F.A. EPDM (GENFLEX)	FAILING	2020	
10	2005	3,824 SF	F.A. EPDM (GENFLEX)	POOR	2025	
11	2021	1,994 SF	F.A. EPDM (PRESTONE)	EXCELLENT	2048	
12	2000	7,835 SF	F.A. EPDM (PRESTONE)	FAILING	2025	
13	2005	6,095 SF	F.A. EPDM (GENFLEX)	FAILING	2025	
14	2000	2,528 SF	F.A. EPDM (PRESTONE)	FAIR	2025	
15	2000	2,247 SF	F.A. EPDM (PRESTONE)	FAIR	2025	
16	2005	3,333 SF	F.A. EPDM (GENFLEX)	GOOD	2030	
17	2005	1,796 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
18	2005	7,882 SF	F.A. EPDM (GENFLEX)	FAILING	2025	
19	2005	5,700 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
20	2005	2,248 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
21	2000	1,000 SF	F.A. EPDM (PRESTONE)	FAIR	2025	
22	2005	12,258 SF	46 F.A. EPDM (GENFLEX)	FAIR	2025	
23	2000	4,023 SF	F.A. EPDM (PRESTONE)	FAIR	2030	
24	2000	15,770 SF	F.A. EPDM (PRESTONE)	FAIR	2030	
25	2000	3,186 SF	F.A. EPDM (PRESTONE)	FAILING	2030	
26	2005	16,621 SF	F.A. EPDM (GENFLEX)	FAILING	2025	
27	2011	483 SF	F.A. EPDM (PRESTONE)	FAILING	2030	
28	2011	178 SF	F.A. EPDM (PRESTONE)	FAILING	2030	





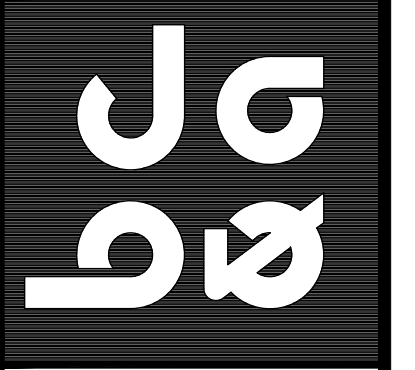
PARTIAL ROOF PLAN

PERU CSD PRIMARY / INTERMEDIATE SCHOOL						
ROOF LABEL	LAST YEAR REPLACED	AREA	DESCRIPTION	CONDITION	FUTURE REPLACEMENT YEAR	COLOR KEY
1	2000	1,960 SF	F.A. EPDM (FIRESTONE)	FAILING	2025	
2	1995	1,927 SF	F.A. EPDM (FIRESTONE)	FAILING	2015	
3	2005	2,594 SF	F.A. EPDM (GENFLEX)	POOR	2030	
4	2005	1,782 SF	F.A. EPDM (GENFLEX)	POOR	2030	
4A	2019	40 SF	F.A. EPDM (FIRESTONE)	EXCELLENT	2044	
5	1936	1,768 SF	ORIGINAL SLATE ROOF	POOR	2025	
6	2000	235 SF	F.A. EPDM (FIRESTONE)	POOR	2025	
6A	2000	81 SF	F.A. EPDM (FIRESTONE)	POOR	2025	
7	2000	430 SF	SHINGLES	FAILING	2030	
8	2000	170 SF	F.A. EPDM (FIRESTONE)	POOR	2030	
9	1936	5,525 SF	ORIGINAL SLATE ROOF	POOR	2025	
10	2005	4,176 SF	F.A. EPDM (GENFLEX)	FAILING	2025	
10A	1936	40 SF	ORIGINAL FLAT SEAM COPPER	POOR	2030	
11	1936	1,667 SF	ORIGINAL SLATE ROOF	POOR	2025	
12	2005	1,782 SF	F.A. EPDM (GENFLEX)	POOR	2030	
13	2005	2,434 SF	F.A. EPDM (GENFLEX)	POOR	2030	
14	2005	3,690 SF	F.A. EPDM (GENFLEX)	FAIR	2030	
15	2005	1,246 SF	F.A. EPDM (GENFLEX)	FAIR	2030	
16	2005	4,242 SF	F.A. EPDM (GENFLEX)	FAIR	2030	
17	2005	2,090 SF	F.A. EPDM (GENFLEX)	POOR	2025	
18	2005	882 SF	F.A. EPDM (GENFLEX)	POOR	2025	
19	2000	6,700 SF	F.A. EPDM (FIRESTONE)	FAILING	2025	
20	2005	2,300 SF	F.A. EPDM (GENFLEX)	FAIR	2030	
21	2005	905 SF	F.A. EPDM (GENFLEX)	FAILING	2030	
22	2005	10,430 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
23	2005	10,477 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
24	2000	4,496 SF	F.A. EPDM (FIRESTONE)	FAILING	2025	
24A	2000	1,900 SF	F.A. EPDM (FIRESTONE)	FAILING	2025	
25	2021	7,077 SF	LIQUID COATING SYSTEM	EXCELLENT	2046	
26	2005	6,900 SF	F.A. EPDM (GENFLEX)	FAIR	2025	
26A	2000	182 SF	F.A. EPDM (FIRESTONE)	FAIR	2025	
27	2000	16,737 SF	F.A. EPDM (FIRESTONE)	POOR	2030	
28	2019	7,000 SF	LIQUID COATING SYSTEM	EXCELLENT	2044	
29	2000	78 SF	CURVED STANDING SEAM	GOOD	2030	
30	2000	78 SF	CURVED STANDING SEAM	GOOD	2030	
31	2011	218 SF	F.A. EPDM (FIRESTONE)	GOOD	2030	



KEY PLAN

THE BERNIER CARR GROUP
 BERNIER, CARR & ASSOCIATES, P.C. • MACH ARCHITECTURE + ENGINEERING, P.C.
 engineers • architects • planners • surveyors • construction managers



ROOF PLAN & SCHEDULE
 PERU CENTRAL SCHOOL DISTRICT
 ROOF CONDITION REPORT
 PRIMARY INTERMEDIATE SCHOOL
 Town - County - State of New York

Revisions:
 1.)
 THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.
 Drawn By: JAS
 Checked By: JAS
 Scale: AS NOTED
 Date:
 File No.:
 Sheet No.:
A-PP-P-1